

DUPLEX CONVERSION FOR  
HGM PROPERTIES, INC.  
JOHN AVENUE  
MADISON, NEW JERSEY

WILLIAM CHARLEROY ARCHITECT  
114 TITUS MILL ROAD  
PENNINGTON, NEW JERSEY 08534  
609-511-3966



**R-PH RESIDENTIAL-PUBLIC HOUSING REGULATIONS**  
**A. PURPOSE.**  
 THE PURPOSE OF THIS ZONE IS TO PERMIT SCATTER SITE HOUSING OWNED AND/OR OPERATED BY THE MADISON HOUSING AUTHORITY.

**B. PRINCIPAL PERMITTED USES.**  
 (1) HOUSING OWNED AND/OR OPERATED BY THE MADISON HOUSING AUTHORITY AND OCCUPIED BY HOUSEHOLDS SELECTED BY THE HOUSING AUTHORITY.

**C. SUPPLEMENTARY REQUIREMENTS.**  
 (1) THE MAXIMUM NUMBER OF HOUSING UNITS PERMITTED SHALL BE 12 UNITS.  
 (2) THE MINIMUM PARKING REQUIREMENTS ARE TWO PER UNIT.  
 (3) THE MAXIMUM HEIGHT SHALL BE TWO AND ONE-HALF STORIES IN 35 FEET.  
 (4) SETBACK: 50 FEET FROM TRACT BOUNDARY.  
 (5) MINIMUM COMMON OPEN SPACE: 30%  
 (6) MAXIMUM IMPERVIOUS GROUND COVERAGE: 50%  
 (7) CONCRETE PATIOS AND PRIVACY FENCES IN SIDE AND REAR YARDS ARE PERMITTED.  
 (8) WINDOW WALL TO WINDOW WALL DISTANCE OF 25 FEET.

**R-PH RESIDENTIAL PUBLIC HOUSING REGULATIONS**

REQUIRED	EXISTING	PROPOSED	VARIANCE
MAX. 12 UNITS	11 UNITS	13 UNITS	VARIANCE REQUIRED
MIN. 2 CARS/UNIT	19 CARS	19 CARS	VARIANCE REQUIRED
MAX. HT. 2 1/2 STORIES IN 35'	2 1/2 STORIES, 30'	2 1/2 STORIES, 30'	NO VARIANCE
SETBACK: 50' FROM TRACT BOUNDARY	40' EXISTING NON-CONFORMING	40' EXISTING NON-CONFORMING	NO VARIANCE
MIN. OPEN SPACE: 30%	20.6%	20%	NO VARIANCE
MAX. IMPERVIOUS COVERAGE: 50%	19.4%	20%	NO VARIANCE
CONCRETE PATIOS AND PRIVACY FENCES IN SIDE AND REAR YARDS ARE PERMITTED	PATIOS LOCATED IN REAR YARD	PATIOS LOCATED IN REAR YARD	NO VARIANCE
CONCRETE PATIOS AND PRIVACY FENCES NOT PERMITTED IN FRONT YARD	PATIO LOCATED IN FRONT YARD	PATIO LOCATED IN FRONT YARD	VARIANCE REQUIRED
WINDOW WALL TO WINDOW WALL DISTANCE OF 25'	30'	30'	NO VARIANCE

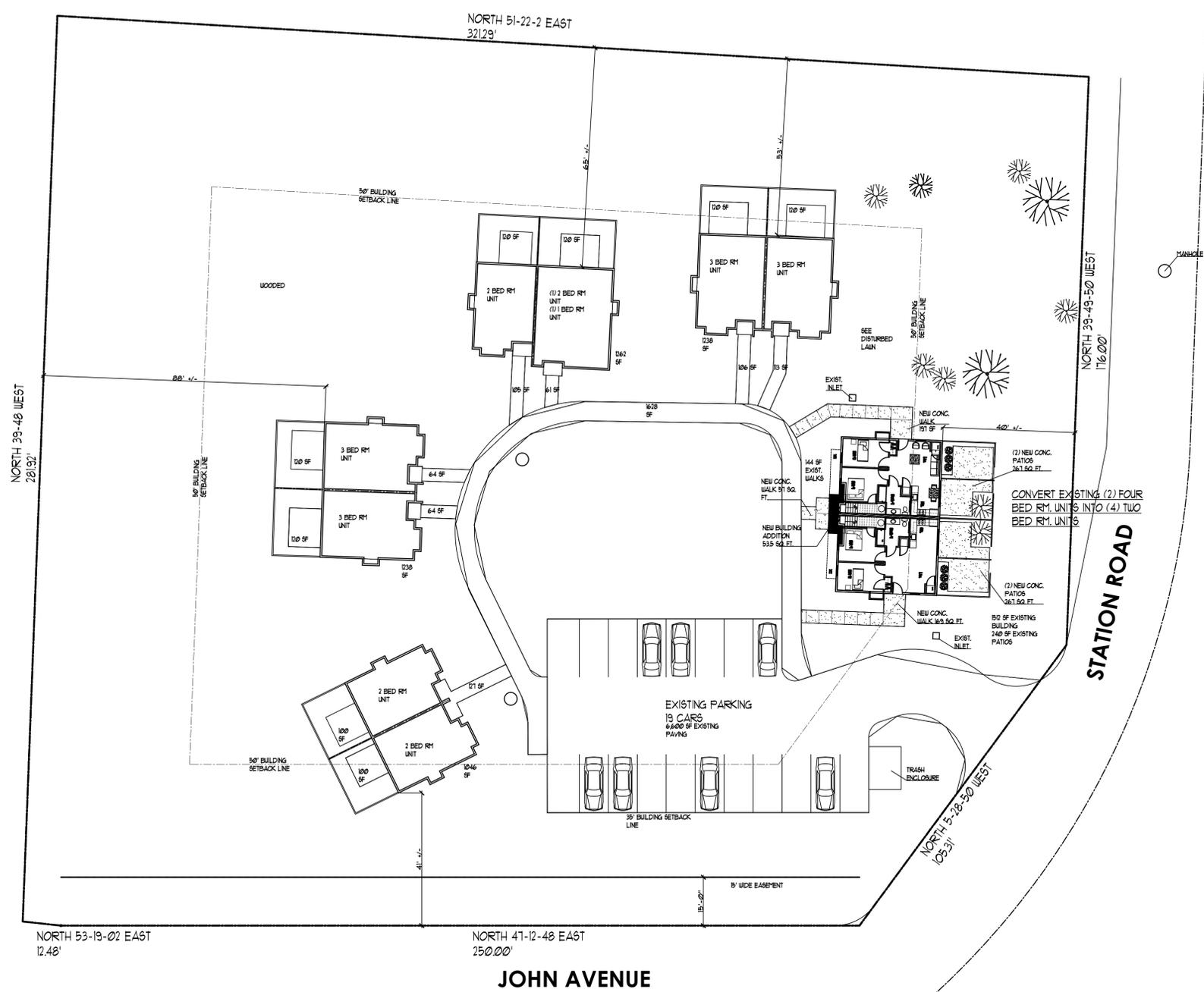
**CALCULATIONS**  
84,840 SF LOT AREA

**EXISTING LOT COVERAGE**  
 6,296 SF EXISTING BUILDING COVERAGE  
 6,600 SF EXISTING BITUMINOUS PAVING  
 2,412 SF EXISTING CONC. WALKS  
 1,160 SF EXISTING PATIOS  
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 16,468 SF TOTAL EXISTING LOT COVERAGE  
 16,468 / 84,840 = 19.4% EXISTING LOT COVERAGE

**PROPOSED LOT COVERAGE**  
 16,468 SF EXISTING LOT COVERAGE  
 MINUS 240 SF REMOVE TWO PATIOS  
 MINUS 144 SF REMOVE CONC. WALK  
 PLUS 411 SF ADD NEW CONC. WALKS  
 PLUS 535 SF NEW BUILDING ADDITION  
 PLUS 534 SF NEW CONC. PATIOS  
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 17,089 SF TOTAL PROPOSED LOT COVERAGE  
 17,089 / 84,840 = 20% PROPOSED LOT COVERAGE

**APPROVED BY THE ZONING BOARD OF ADJUSTMENT**

BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE



**SITE PLAN**  
 LOT 5 BLOCK 61  
 SCALE: 1"= 20'

LOT AREA 84,840 SQ. FT.  
1.95 ACRES

BOUNDARY SURVEY SOURCE  
 STORCH ENGINEERS  
 FLORHAM PARK, N.J.  
 MAY 11, 1981