

INDIVIDUAL LOT GRADING PLAN REVIEW

BOROUGH OF MADISON APPLICATION FOR ZONING PERMIT

Block: _____ Lot: _____ Zone: RES - _____

Date: _____ ZPA# _____

1. Name of Applicant or Authorized Agent: _____
Please Print

Phone: _____ Fax: _____ E-Mail Address _____

2. Applicant's Address: _____

3. Name of Lot Owner: _____

Phone: _____ Fax: _____ E-Mail Address: _____

4. Lot Owner's Address: _____

5. Address of Premises: _____

6. What type of Zoning Permit is being sought? Any Application for the permits below **requires a Survey** no older than 10 years. A "Certificate in Lieu of Oath" must be returned with each Application except when the survey is less than three months old.

Residential \$ 50.00
Received _____ Cash _____ Check# _____
 Deck Patio Driveway Fence Shed Pool/Hot Tub Air Conditioning Unit/Generator Dumpster Other

Residential \$ 150.00
Received _____ Cash _____ Check# _____
 Addition Detached Garage Other

Residential \$ 300.00
Received _____ Cash _____ Check# _____
 New Dwelling

Change of Tenancy/Change in Use \$50.00
Received _____ Cash _____ Check# _____

Permanent Sign Permit \$100.00
Temporary Sign Permit \$ 50.00
Received _____ Cash _____ Check# _____
 Temporary Permanent Sandwich Board

7. For Change in Tenancy/Change in Use – What are the premises presently being used for: N / A

8. What is the Proposed Use: RESIDENTIAL INDIVIDUAL LOT GRADING PLAN -- LAND USE CODE 195-24.2

9. Existing Days/Hours of Operation: N / A Proposed Days/Hours of Operation: N / A

10. Number of Proposed Employees: _____ Existing Parking Spaces On-site: _____

11. Gross Floor Area to be Occupied: N / A Solid Waste Facilities available On-site: Describe: _____

12. Will there be any Storage or Handling of Chemicals or Hazardous Substances? Describe: N / A

I (we) herby declare and represent to the Borough of Madison that the statements made by me (us), in this application are true and are made for the purpose of inducing the Zoning Official to issue a Zoning Permit.

Approved by: _____ Date: _____

Signature of Applicant: _____ Date: _____
or Authorized Agent



Borough of Madison

Land Use Ordinance 195-24.2 Re: Site Layout

Layout of a single-family or multifamily dwelling not requiring Board approval shall still be required to submit an individual lot grading plan to the Borough Engineer for purposes of calculating building height and compliance with other standards regarding general protection and welfare of the public. The plan may require information concerning spot grades, topography, building location, building height, first-floor elevation, paved and other impervious coverages and such other information as may be required, not limited to decks, driveways, patios, walls, drainage, drywells, accessory structures, equipment, screening, etc.

The Individual Residential Lot Grading Plan may address elements of both the Residential Site Improvement Standards and Local Development Regulations, such as: Borough of Madison Land Use Regulations Sections 195-25, 26, 27, 28, 37 et seq. The plan may require review of grade plane calculations, walls, fences, drainage, impervious area runoff control, roof area runoff control, recharge drywells, areas of disturbance, volume of fill, soil moving, soil types, soil erosion control, steep slopes stability, vegetation, buffering, easements, sight triangles, watercourses and floodplain management.

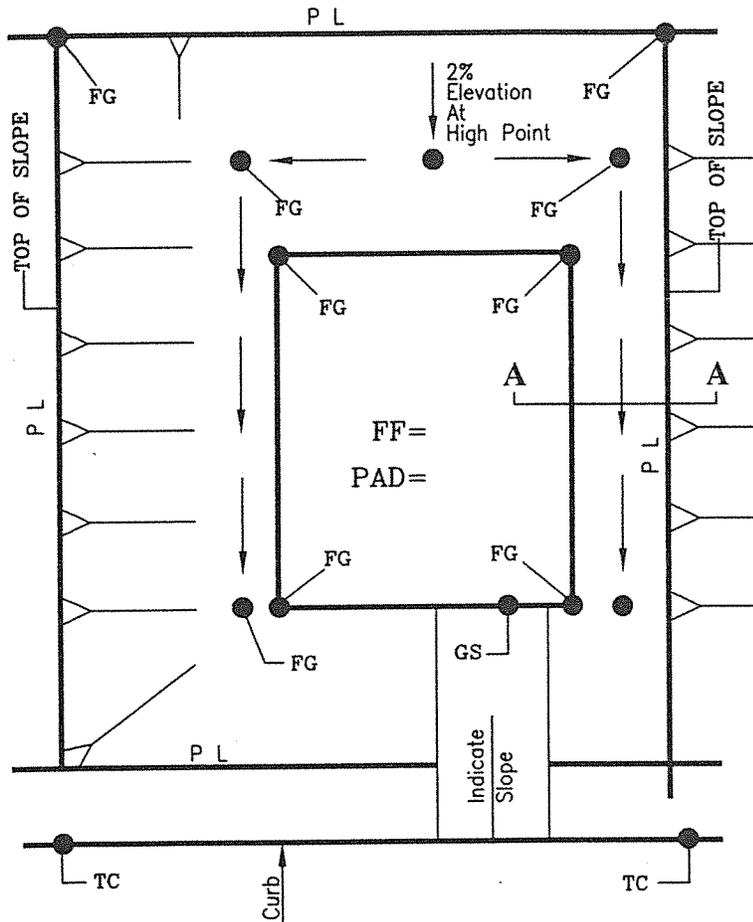
The regulation of individual lot grading depends on the extent of work proposed, and therefore the level of detail required for different properties and proposals may vary according to the following schedule :

Regulation	Cite	Threshold	Required Y/N?
Construction	195-27	Grading/Ret.Wall	Significant Change
Plat Detail	195-23	Site Plan	Per Ordinance Checklist
Building Layout	195-24.2	Building	Central front face street
Buffers	195-25.3	Mech Eqt. , Uses	Buffer adjoining parcels
Parking	195-35	Space Requirements	Must provide for parking
Accessory Structure	195-30.5	Setback, Area	Location, Size, Height
Setbacks	195-30.6	Inside Envelope	Ordinance Bulk Requirement
Story, Cellar, Height	146-21	Exposed Foundation	Cannot be more than 50%
Wetlands	195-41.1	Area of Impact	Letter of Interpretation
Steep Slopes	195-41.2	Area of Impact	Avoid 25%+ grades
Soil Moving	195-45	Volume of Fill	Not to exceed 100 CY
Foodplain-Riparian	195-38	Floodplain Fill	No fill in regulated areas
Stormwater Mgt	195-37	1/4 acre impervious	Runoff, Recharge, Quality
Drywell	195-37.8	Coverage, roof area	Provide design per ordinance
Soil Erosion	195-44	Area of Disturbance	Morris County application

Generally lot grading plans are required by statute to be prepared by a New Jersey licensed Professional Engineer, or more recently in the law, the Landscape Architect.

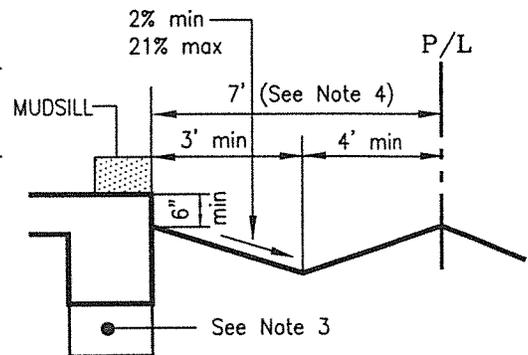
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TYPICAL LOT DRAINAGE



LEGEND:

- Location of required spot elevation
- Direction of concentrated flow within a swale.
- FG = Finished Grade Elevation
- FF = Finished Floor Elevation
- TC = Top of Curb Elevation
- GS = Garage Slab Elevation



SECTION A - A
TYPICAL SIDEYARD SWALE

NOTES:

1. Grassy swales are preferred.
2. A paved drainage swale, a catch basin and pipe, or similar drainage device is required when a porch, fireplace, or portion of the building extends within the minimum established drainage setbacks.
3. Foundations may have to be deepened to provide sideyard swales without exposing footings; call out location on plans.
4. This dimension may be controlled by zoning ordinance, but is the minimum drainage setback.
5. If these minimum surface drainage standards cannot be achieved, then an approved underground system will be installed, thereby curb drains may be utilized as approved
6. No additional drainage will be permitted onto adjoining property, nor will drainage from adjoining property be blocked.
7. Lot drainage plans shall be signed and stamped by a Registered Engineer or Architect.
8. Concentrated flow across sidewalk is not allowed.

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PLOT AND FINISH GRADING PLAN REQUIREMENTS FOR PRIVATE DEVELOPMENT

DESIGN STANDARDS FOR DRAINAGE

1. GENERAL

- A. Drainage - both existing and proposed - is the basic consideration in the design of grading. Providing for adequate drainage onto and off of the proposed site is one of the most important aspects of grading plan design since the best compacted fill or graded slope can be completely nullified by inadequate drainage provisions.
- B. These requirements are based on guidelines listed in Chapter 33 of the Uniform Building Code. These are minimum standards, not maximum provisions, which can guarantee adequate drainage under all conditions. Depending on the topography, layout, or soil conditions, more restrictive requirements may be necessary as determined by the reviewing official.
- C. The designer, in coordination with the soil engineer, must determine the necessities of each individual site on its own merits, and design for problems peculiar to the site. Long-term performance must be considered with enough conservatism in design to take into account the general lack of maintenance received by residential sites.
- D. Grading and drainage plans must be signed, dated and stamped by a registered architect or civil engineer, on the original drawing.
- E. For hillside lots, a geotechnical engineer must submit a certified soils report, and stamp the grading plan.
- F. Comply with applicable NPDES regulations to control storm water pollution.

2. DRAINAGE GRADIENTS

- A. The following minimum gradients for drainage are required for development of private property:

Dirt/Grass 2%
Asphalt Driveway 1% (longitudinal flow); 2% (sheet flow)

Portland Cement Concrete 0.5% (longitudinal swale); 1% (sheet flow)
Terrace/Interceptor Drains 5%

- B. The following are maximum gradients:

Graded earth swales 6%
Driveways 20%

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3. CUT AND FILL SLOPES

- A. All cut and fill slopes shall be no steeper than 2:1; for steeper slopes, a soils engineer must submit a soils report, and stamp, date and sign the original drawing of the grading plan.
- B. Drainage standards for slopes are established to prevent excessive erosion and subsequent instability. No surface water from buildings or pads should be permitted to flow over the slopes. Drainage from the natural slopes above the graded cut slope should be diverted away by a terrace drain or a "V"-ditch.

PLAN REQUIREMENTS

- A. A plot and finish grading plan is required to be submitted with all applications for a building permit. The following is a check list of items which as a minimum, must be shown on the plot and finished grading plans:

- ___ 1. The site address.
- ___ 2. The owner's name, address and phone number.
- ___ 3. The names, addresses and phone numbers of the architect, civil engineer, surveyor, or other designer.
- ___ 4. Location of stockpile area for excess dirt.
- ___ 5. The volume of cut and fill needed, (if greater than 50 CY).
- ___ 6. Import or export of dirt involving 50 CY or more

- ___ 7. Fully dimensioned property lines and boundaries.
- ___ 8. Vicinity map with enough detail so the site can be easily found.
- ___ 9. North arrow, scale and legend.
- ___ 10. Location of any buildings, structures, driveways, drainage ditches, or element of the project such as pool, patio, tennis court, etc., on or within 15 feet of the property where the work is to be performed.
- ___ 11. Location and height of all retaining walls (note: retaining walls with a height exceeding four feet from the bottom of footing require a special permit

- ___ 12. Accurate contours showing the present topography of the site and adjacent property. Existing and proposed contours shall be shown at intervals of one foot or less on slopes up to five percent, and not more than five feet on slopes in excess of five percent, and shall extent 10 feet across adjoining streets (when said streets are unimproved) and adjoining property lines.
- ___ 13. Elevations, dimensions, locations, extents and slopes of all proposed grading, by contours or other means, including finish curb at points of extension of lot lines and curb return points; finish and existing grade elevations at each principal corner for the structure